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THE  
**CITY of PELLA**  

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STAFF MEMO TO COUNCIL

ITEM NO: K-1  
SUBJECT: Revised Architectural Design Guidelines  
DATE: February 21, 2023

**BACKGROUND:**

The purpose of this Policy and Planning item is to discuss the revised Design Review District Design Manual (Manual), now called the Architectural Design Guidelines. As background, on November 1, 2021, Council approved an agreement with SHYFT Collective to work with the Community Development Committee (CDC) to revise and update the existing Manual. For Council's review, the revised Architectural Design Guidelines are included as a memo attachment. During this meeting, Kurt Hagge with SHYFT Collective will be in attendance to present the document changes, revisions, and updates.

**Current Design Guidelines**

Currently, a design permit is required for new commercial buildings located in a design review district. In addition, existing commercial buildings located in a design review district which are proposing architectural modifications to their exterior (i.e., building addition, changes to the façade, etc.) are required to obtain a design permit. Residential properties which abut major corridors or are located in proximity to the city's downtown are also subject to design requirements. The city's design review districts largely mirror existing commercial zoning districts and are depicted in the Exhibits which are attached to this memo.

**Design Review District Design Manual Update Process**

The CDC requested to update the Manual for the purpose of reflecting the growth and distinct needs of various parts of Pella while still encouraging a homogenous theme in the Central Business District (CBD). The CDC stated various reasons for proposing a revised version of the Manual, including that it has not been revised in a substantial capacity since the addition of 360-degree review of a building, which occurred over a decade ago.

Additionally, the CDC noted the need for more context sensitivity regarding design requirements. For example, the CDC believes that a property built on the outskirts of Pella should not be held to the same standard as a building in the CBD. In addition, the CDC desired for the Manual to show more examples than gables as major design elements to satisfy the code requirements.

The CDC and SHYFT have spent the previous 12 months working on revising the Manual, including hosting an open house on August 24, 2022. During this open house, the community was invited to watch a presentation, review the proposed changes, and ask questions.

On December 14, 2022, the CDC approved the Architectural Design Guidelines, recommending that the document be presented to Council for consideration and approval.

### **Revised Architectural Design Guidelines**

The revised Architectural Design Guidelines are intended to apply to the city's existing design review districts and commercial zoning districts. However, the proposed guidelines utilize the following districts to determine the level of architectural standards for the design permit:

District I – Historic Dutch

District II – Transitional

District III – Contemporary

The above districts are depicted on pages 20 and 21 of the proposed guidelines. During this meeting, staff and SHYFT will discuss the differences in architectural standards for each of these districts.

### **Additional Recommendation for Council's Consideration**

While the revised guidelines do not propose expanding the city's existing design review districts, the CDC would like to discuss requiring design permits for M-1 zoning districts which are located in an existing design review district. The reason for this proposal is industrial buildings located in an existing design review district are highly visible from the city's major corridors. Furthermore, over the past 24 months, the city has conditionally rezoned three properties to M-1, requiring design standards for the new industrial buildings. In those cases, the new industrial buildings were in close proximity to the Washington Street corridor.

### **Summary**

Finally, the revised Architectural Design Guidelines are designed for the future, this is why the entire City of Pella is delineated in the coverage map. This was done to prepare for future developments as they materialize. During the development process, the city can condition these future developments to abide by the Architectural Design Guidelines, which will already have criteria established for those areas.

In summary, staff is seeking Council direction regarding the revised Architectural Design Guidelines as developed by SHYFT Collective and the city's Community Development Committee.

ATTACHMENTS:	Architectural Design Guidelines Manual, Exhibit A: Design Review District, Exhibit B: Gateway Corridor District, Map of Design Overlay Districts
REPORT PREPARED BY:	Planning and Zoning Department
REVIEWED BY:	City Administrator, City Clerk
RECOMMENDATION:	Seeking Council direction



# City of Pella Architectural Design Guidelines

4th Edition

Adopted by the City of Pella  
February | 2023

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PREPARED BY:

**SHYFT**  
PLAN | DESIGN | BUILD





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# Vision for Pella Purpose

Maintaining the vision of a heritage-based destination remains a critical challenge for any municipality. Working together with designers and property owners to devise new ideas in commercial / retail developments while still retaining the character and identity of the established community is often a delicate balance. The City of Pella endeavors to maintain its strong vision and retain the historic integrity throughout the community by guiding the character of its buildings and signage.

These parameters will establish a foundation of character elements, on which to base the design of future development. This document will outline the specifics of Dutch architecture, key Dutch building elements and the Pella Color Palette, to assist you in making informed decisions regarding commercial new construction or renovation within the City of Pella.

This design manual is intended to act as a companion to the Design Review (DR) District Overlay regulations of the City of Pella Zoning Ordinances and are to be applied in tandem with the Community Development Committee (CDC) review.

## Respecting Community Character While Accommodating New Development

The City of Pella and the CDC encourage new development and stand ready to assist developers and businesses with Design Permit application requirements. While the City recognizes that certain businesses have brand-specific designs for their establishments in other communities, please recognize that Pella is a unique community that prides itself on its Dutch heritage and a high quality of life.



## Community Development Committee

The Community Development Committee (CDC) was established by the City Council in 1978 to oversee the Dutch architecture review process. The purpose of the CDC is to preserve and promote the unique historic charm, atmosphere, and quaint, romantic character of the community. The CDC will review all proposed plans for a design permit in the design review districts and either issue or deny a design permit. The CDC will also recommend issuance or denial of a building permit. This review shall relate to the proposed aesthetic, colors, textures, materials, and architectural design of the exterior (front, sides, rear, roof) of the proposed building as well as any signage, graphics, visual displays, exterior fixtures and outdoor furniture. Any exterior renovations, alterations, modifications to, or repairs of existing structures within the design



review districts are also to be reviewed by the CDC. The CDC has fourteen (14) days to report to the Building Official, any recommendations or changes that they determine are required to comply with the Dutch architectural theme. A building permit will not be issued until the CDC approves the architectural design of the proposed new building or modifications. Depending on the scope of work, the project shall be considered as either a major project, reviewed by the full Committee or a minor project, which can be reviewed by the Design Subcommittee in less time.

Meetings of the CDC can be called at least twice a month, with special meetings as needed. A one week lead time for application submittal is required for any major project. Applicants submitting a site plan in a design review district for a new development can submit their architectural plans concurrent with, or prior to, city staff review of the site plan. The nature of a design review is similar to a design charrette or design workshop. This manual is intended to assist both applicants and the CDC in defining Dutch architectural elements throughout the design review process.



# Process Requirements

Design Permits

Signage

Application Requirements

LED Lighting

Design Assistance

Outdoor Fixtures/Furniture

Design Districting Map

Dumpster Enclosures

Dutch Architectural Character Elements

Pella Color Palette

360° Architecture

Peddlers



# 01 Design Permits

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## Major Projects

Major projects include new building construction, building additions, repairs and/or modification to, or the repainting of major portions of a building's exterior. Major projects are reviewed by the full Community Development Committee at a meeting.

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## Minor Projects

Minor projects consist of building trim modifications including, but not limited to, door or window replacement, trim repainting, fencing, lighting, or other outdoor fixtures/furniture. Minor projects are reviewed by the CDC's Design Subcommittee, which can meet as needed, usually within just a few business days. If presented with an unusual request, or if there is concern about design, the subcommittee may defer review of a minor project to the full committee.





# 02 Application Requirements

The Community Development Committee (CDC) reviews all design permit applications. A design permit application must be submitted for the following activities:

1. New commercial buildings within the Design Review (DR) District.
2. Proposed architectural modifications or additions to existing buildings within the (DR) District, that alter the existing aesthetic. Architectural modifications include any exterior construction, painting, and revisions to signage, graphics, visual displays, fixtures, and outdoor furniture. The CDC considers exterior murals to be paint and are subject to the requirements herein.
3. The replacement of exterior signage, graphics, visual displays, fixtures and outdoor furniture, consistent with a prior permit shall be exempt from a design permit.

## Violations

Failure to obtain a design permit before proceeding with modifications or new construction is a violation of the City's zoning ordinances and is punishable by issuance of a municipal infraction carrying a minimum penalty of \$250.

## Required Design Permit Application – Supporting Materials

Color façade drawings for every side of the building is required along with large format color swatches and samples of building materials (type of brick, shingles, etc.).

## Exemptions

Any maintenance which does not change the original appearance of the structure is exempt from the design review process, such as repainting with the same (previously approved) color or replacing a window with a new window of the same size, proportion, and material.

## Preliminary Reviews

Applicants, especially for major projects, are encouraged to submit preliminary designs before submitting the formal design permit application. Preliminary review can even be done via email, working through Planning and Zoning staff who will work with the CDC and transmit comments back to the applicant.



# 03 Design Assistance

In addition to these Design Guidelines, the Design Review Checklist (Appendix A), and the Design Precedent Images (Appendix B), the following options for design permit assistance are available:

- A CDC sponsor can be called using the membership list, if an applicant wishes to work with one or more individual CDC members.
- City staff can help answer specific questions about the City Code or the Design Manual.
- The Pella Color Palette is available online at the following link: <https://www.cityofpella.com/199/Development>
- Touring the commercial districts of the community, especially if one has never been to Pella, is always recommended when possible. In particular, the following areas contain numerous examples of historic Dutch architecture:
  1. Central Business District (Downtown)
  2. Washington Street from Highway 163 to Central Business District
  3. Main Street from Central Business District South to Oskaloosa Street
  4. Oskaloosa Street Corridor



# 04 Design Districts



The design districts outlined correspond with the regions indicated on the district map on pages 20 - 21.



## District I - Historic Dutch

### Major Architectural Elements

- Gable Roofs (Stepped, Beak, Neck, Bell)
- Dutch Gable Roofs
- Hip Roofs (Standard, Clipped)
- Flat (Low-Slope) Roofs (CBD only)
- Mansard Roofs

### Minor Architectural Elements

- Cupolas
- Dormers
- Decorative Fascias
- Brick Bonding Patterns
- Dutch Arches/Quoins/Keystones
- Sash/Arch-Top/Bay/Bow Windows (w/mullions)
- Storefront (Retail @ CBD only, w/ or w/out mullions)
- Faux Shutters
- Faux Doors (w/ strap hinges)
- Lanterns/Faux Lanterns
- Faux Hoistbeams
- Decorative Cornice

### Cladding Materials

#### Primary

- Brick
- Brick/Concrete Mix

#### Secondary

- Stucco/EIFS
- Wood (Wood-Look Composite)
- Stone

### Roofing Materials

#### Primary

- Architectural Shingles (Asphalt, Slate)
- Terracotta (Clay/Roof Tiles)
- EPDM/TPO Membrane (CBD only)

#### Secondary

- EPDM/TPO Membrane (CBD only)

## District I - Historic Dutch

Commercial buildings within this district, as designated in green, shall be required to incorporate the following design criteria:

- Shallow (or no) eaves; steeper roof pitches encouraged, roof pitch commensurate with gables, no exposed gable structure (i.e. kickers).
- 25% - 60% glazing, per facade; ≤ 30% tint, gray/bronze only (no colored tint, no reflective coatings).
- Flat (low-slope) roofs prohibited within the Historic Dutch District, unless property resides within the Central Business District (CBD).

Commercial buildings within this district shall also be required to incorporate, at a minimum, those elements listed below, as selected from the following pre-approved criteria:

- Two (2) major architectural elements
- Three (3) minor architectural elements
- One (1) primary cladding material
- One (1) secondary cladding material
- One (1) primary roofing material



**District II - Transitional**

Commercial buildings within this district, as designated in blue, shall be required to incorporate the following design criteria:

- Steeper roof pitches encouraged, roof pitch (where present) commensurate with gables, no exposed gable structure (i.e. kickers).
- 25% - 75% glazing, per facade; ≤ 30% tint, gray/bronze only (no colored tint, no reflective coating).

Commercial buildings within this district shall also be required to incorporate, at a minimum, those elements listed below as selected from the following pre-approved criteria\*:

- Two (2) major architectural elements
- Three (3) minor architectural elements
- One (1) primary cladding material
- One (1) secondary cladding material
- One (1) primary roofing material

\* Secondary cladding material may not be the same as the primary cladding material.

**District II - Transitional**

Major Architectural Elements

- Gable Roofs (Stepped, Beak, Neck, Bell)
- Dutch Gable Roofs
- Hip Roofs (Standard, Clipped)
- Gambrel Roofs
- Shed Roofs
- Flat (Low-Slope) Roofs (alt. shading)
- Barrel (Vaulted) Roofs
- Mansard Roofs

Minor Architectural Elements

- Cupolas
- Dormers
- Decorative Fascias
- Brick Bonding Patterns (if brick)
- Dutch Arches/Flat Arches/ Quoins/Keystones
- Sash/Arch-Top/Bay/Bow Windows (w/ or w/out mullions)
- Storefront (w/ or w/out mullions)
- Faux Shutters
- Faux Doors (w/ strap hinges)
- Lanterns/Faux Lanterns
- Faux Hoistbeams
- Decorative Cornice

Cladding Materials

- Brick
- Brick/Concrete Mix
- Stucco/EIFS
- Fiber Cement Panels
- Wood (Wood-Look Composite)

Roofing Materials

- Architectural Shingles (Asphalt, Slate)
- Terracotta (Clay/Roof Tiles)
- Standing Seam
- EPDM/TPO Membrane



**District III - Contemporary**

Major Architectural Elements

- Gable Roofs
- Shed Roofs
- Flat (Low-Slope) Roofs
- Barrel (Vaulted) Roofs
- Concave/Convex (Curved Facades)

Minor Architectural Elements

- Dormers
- Brick Bonding Patterns (if brick)
- Flat Arches
- Asymmetrical Windows (w/ or w/out mullions)
- Storefront/Curtain Wall (w/ or w/out mullions)

Cladding Materials

- Concrete
- Metal Panels
- Stucco/EIFS
- Fiber Cement Panels
- Wood (Wood-Look Composite)
- Phenolic Panels (High-Pressure Laminate)

Roofing Materials

- Architectural Shingles (Asphalt, Slate)
- Terracotta (Clay/Roof Tiles)
- Standing Seam
- Metal Panel
- EPDM/TPO Membrane
- Phenolic Panels (High-Pressure Laminate)

**District III - Contemporary**

Commercial buildings within this district (and beyond), as designated in gray, shall be required to incorporate the following design criteria:

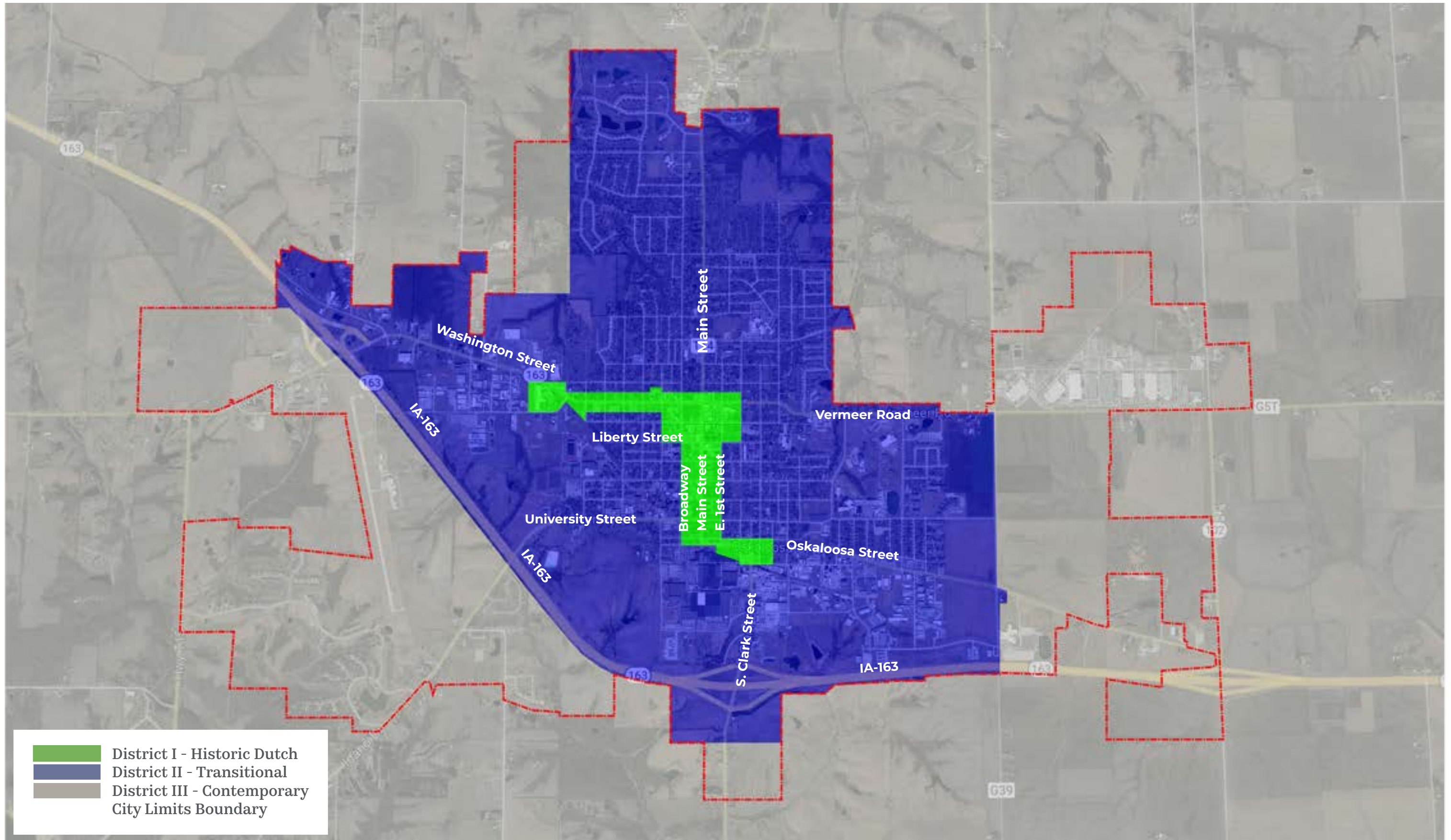
- ≥ 40% glazing, per facade; ≤ 30% tint, gray/bronze only (no colored tint, no reflective coating)





Commercial buildings within this district shall also be required to incorporate, at a minimum, those elements listed below, as selected from the following pre-approved criteria\*:

- Two (2) major architectural elements
- Three (3) minor architectural elements
- One (1) primary cladding material
- Two (2) secondary cladding materials
- One (1) primary roofing material

\* Secondary cladding material may not be the same as the primary cladding material.





	District I - Historic Dutch
	District II - Transitional
	District III - Contemporary
	City Limits Boundary



# 05 Large Commercial Buildings

The Community Development Committee (CDC) recognizes that newer commercial buildings present unique design challenges not present in the smaller, quaint design of Dutch architecture in the historic downtown. However, it is the intent of the Zoning Ordinance and Community Development Committee to foster high quality design citywide. Larger commercial buildings in peripheral areas have numerous options within the framework of these commercial design parameters to provide a unique facade appearance which breaks up the large, “big box” appearance. The intent of design parameters, specific to large format retailers, is to reduce the massive scale and uniform, boxy appearance associated with larger commercial buildings. The unique, quaint community character of Pella should and can be respected through scale and context-sensitive design.

## Scale

Buildings with facades greater than 100 lineal feet in length shall incorporate planar wall offsets (3 feet min. depth) with a minimum of 20 contiguous feet within each 100 feet of facade length. These projections shall encompass at least 20% of the facade. Further, large format retailers shall incorporate Contemporary Dutch architectural elements along at least 60% of all publicly visible facades.

## Element Features

Element features include major elements and minor elements. Major elements are defined as structural, compositional elements which change the roofline, superstructure, or overall massing of the building. Minor elements are defined as ornamental or architectural features which provide additional character through embellishment, highlighting or otherwise accenting the stylistic aesthetic of the building, established by the major element(s).

## Roofs

Variations in rooflines are encouraged. Rooflines shall change in height for every 100 lineal feet of the building facade length. Parapets, mansard roofs, gable roofs, hip roofs, or dormers shall be used to conceal flat roofs and rooftop equipment from public view



## Variation in Material, Texture and Color

Building facades should include variation in materials, textures, and colors, such that repetition intervals do not generally occur within thirty (30) feet, horizontally or vertically. At least one of the following elements must repeat horizontally:

1. Change in plane (not less than twenty-four (24) inch offsets)
2. Change in material (or material module)
3. Change in texture
4. Change in color

## Design Guidelines for Non-Building Features

Non-building features shall be designed with a complimentary aesthetic and materiality, consistent with the architectural elements exhibited on the building facades.

## Cart Corrals

A cart corral shall have a finished look, complimentary to the aesthetic of the building, at which the corrals are to be located, specifically the front facade.

1. It is strongly discouraged that cart corrals be constructed of metal, but if constructed this way, they must be covered with wood, plastic composites, or other materials such as PVC or decorative fencing. It is recommended that the corrals be constructed of one the major materials, consistent with the building facade. Alternative materials may be used, pending prior CDC approval.
2. Colors for the cart corral must be chosen from the Pella Color Palette.

## Cart Storage

If carts are stored outside the building, even temporarily, the storage area(s) shall have a finished look complimentary to the aesthetic of the building, specifically the front facade, and are to be integrated into the building. Detached storage facilities may be used, pending prior CDC approval.



# 06 360° Architecture

The intent of the 360° architecture requirement is to maintain a consistent design aesthetic through variations in massing, proportion, fenestrations, character elements, and level of architectural design detail, regardless of orientation. Any facade, or portion thereof, not publicly visible, shall not be held to the same level of architectural design detail.

- All publicly visible facades on new buildings or additions to existing buildings must feature a high level of architectural design detail, consistent with that of the primary façade.
- All publicly visible facades on new buildings or additions to existing buildings must feature at least one change in plane of not less than twenty-four (24) inches.
- All publicly visible facades on new buildings or additions to existing buildings must feature fenestrations of appropriate size and proportion consistent with that of the primary façade.



# 07 Signage Design Parameters

Context sensitive signage design is strongly encouraged in Pella. City Code requires the CDC to review all sign permits and consider such aspects of signage design as general design, arrangement, texture, materials, colors, lighting and placement. Further, City Code requires the CDC to review all proposed signs for appropriateness, in relation to other signs and structures on premises and in nearby areas. Certain zoning districts, such as the Central Business District (CBD) and the Commercial-Mixed Use Urban Center (CUC) Districts, have special requirements for signage design.

## Intent

The intent of the City Code signage regulations and these design parameters are to foster a high quality of life and preserve and promote the community character of Pella through contextually sensitive signage design.

## Central Business District (CBD)

It is especially important that signage design in the downtown of Pella be contextually sensitive. Internally lit signs of any kind are not allowed. Pole signs are not allowed. Primary sign types found in the downtown include wall signs, portable specialty signs and European shingle signs. Plastic signs are strongly discouraged. Signage material generally should be wood or

metal consistent with Old World design, such as a metal shingle signs. The CBD is the quaint heart of Pella, and the signage in this district reflects the European village character, which contributes to tourism and the overall quality of life in the community.

## Commercial-Mixed Use Urban Center (CUC) District

The CUC District includes the entry gateways into downtown on Washington Street from West 5th Street to the CBD and Main Street from the CBD south to Oskaloosa Street. These gateways into the heart of Pella are mixed use corridors. Contextually sensitive signage respectful of nearby residential homes is strongly encouraged. Pole signs are not allowed. Freestanding ground signs need to be externally illuminated or non-lit.

## Community Commercial (CC) District

The CC District generally includes Washington Street west of West 5th Street and Oskaloosa Street east of Main Street. These are the gateway corridors into the City. Signage at Pella's gateways should be contextually sensitive and consistent with the Pella Color Palette. Pole signs are prohibited except for food, fuel and lodging as allowed by Pella Municipal Code. Freestanding ground or elevated monument signs and wall signs are encouraged. Externally illuminated or non-lit signage is encouraged wherever possible.

Individual, dimensional letters and characters are preferred. Self-illuminated characters are strongly discouraged. Plastic, cabinet-style signage may not be used.

## Colors

Signage colors should be chosen from the Pella Color Palette. Other colors may be used, pending CDC approval. The use of dark green, earth tone or white colors for signs is common, but color selection should always be contextually sensitive. Bright or glossy colors are to be avoided.

## Signs Expressly Prohibited by Code

The purpose of prohibiting certain signs in Pella is to preserve the quaint character and Dutch heritage of the community and related tourism industry, protect the public safety of motorists and pedestrians, foster context sensitive signage design, and to minimize the negative visual impacts of signage on adjacent residential uses.

- Neon or similar tube type is prohibited citywide.
- Internally lit signs are prohibited in the CBD District.
- Internally lit freestanding ground signs are prohibited in the CUC Districts.
- Freestanding Elevated (Pole) signs are prohibited except for food, fuel, and lodging, as allowed by Pella Municipal Code.
- Electronically or mechanically moving signs are prohibited, citywide.
- Window signs shall not contain internal lighting, citywide.
- Open light bulbs, flashing, blinking or rotating lights are prohibited, citywide.
- Any signs which are not specifically listed in the sign ordinance are not permitted.

## Banners

Banners require CDC approval and are subject to the Pella Zoning Ordinance requirements, Sign Regulations chapter. The CDC shall consider colors, materials, themes, special events, and seasonal design factors when reviewing sign permits for banners in the public right-of-way.







## 08 LED Lighting

LED fixtures used for building lighting not associated with signage shall be permitted, pending prior CDC approval. In no case shall colored LED lighting or other colored lighting be used for building lighting. All building lighting shall be warm white (color temperature = 2,500 - 3,500 Kelvin), non-colored. Use of color-changing RGB (red/green/blue) LEDs is strongly discouraged.

## 09 Outdoor Fixtures/Furniture

Outdoor fixtures, including seating fixtures, awnings, tables, lighting, fencing, equipment screening, landscaping containers and other fixtures are subject to CDC review and approval in the Design Review and Dutch Residential Overlay Districts. Contextually sensitive design with respect to general location and adjacent building architecture should be kept in mind when considering outdoor fixtures. Glossy, bright colored or plastic appearance fixtures should generally be avoided.

## 10 Dumpster Enclosures

All dumpster enclosures (including trash, recycling, etc.) must be 100% opaque, and shall have a finished look complimentary to the aesthetic of the building at which the enclosures are to be located. The enclosures shall minimize the exposure of dumpsters to public view. Dumpster enclosures not exposed to public view or along service alleyways shall not be held to the same level of architectural design detail.

1. It is strongly encouraged that dumpster enclosures be located in the rear of the building. If the building's rear faces a major corridor street, then the dumpster enclosure shall be located on either side of the building, preferably the side that is the least publicly visible.
2. It is strongly encouraged that dumpster enclosures be permanently attached to the building. Detached, free standing enclosures may be used; however, the detached structure should not be situated on a movable platform or enclosed by a temporary structure.
3. Dumpster enclosures should have pedestrian access.



## 11 Pella Color Palette

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The Pella Color Palette is a pre-approved selection of colors consistent with the historic Dutch character of the community. The Pella Color Palette is derived from the historic color palettes provided by Sherwin-Williams, Benjamin Moore and Diamond Vogel. Architects, sign contractors, and local paint stores are generally familiar with or can color match any of the historic color palettes. The CDC must review and approve all exterior paint colors. Please consider the finish of the proposed paint (gloss, satin, flat, etc.).

The Pella Color Palette is available to view at: <https://www.cityofpella.com/199/Development>

## 12 Peddlers

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The Pella Municipal Code sets requirements and restrictions for peddler permits in the City of Pella. Any peddler may be subject to CDC design permit review and approval for the location from which merchandise is sold. Peddlers exceeding thirty (30) days consecutive or nonconsecutive per calendar year are required to have a Dutch theme unless stated otherwise in the Pella Municipal Code.



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# Appendices

A Design Review Checklist

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B Precedent Images

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C Glossary

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D Image Usage Rights



# Design Review Checklist

## Design Review Checklist

### Building Design

- \_\_\_ Accurate, detailed scale drawings and elevations illustrating the proposed construction or alteration.
- \_\_\_ Accurate, detailed drawings or photographs showing existing conditions of the building.
- \_\_\_ Accurate detailed scale drawings of site plan (where site plan submittal required).
- \_\_\_ Samples, specifications, photos of all materials i.e.: door cut sheets, window/grille specs, siding, handrails, fencing, brick, etc.
- \_\_\_ Accurate and sufficient samples of full-size (8-1/2" x 11") paint samples for primary and trim colors.
- \_\_\_ Manufacturer's cut sheet or specifications and locations for all HVAC units and other infrastructure (where such infrastructure will be located outside the building).
- \_\_\_ Sample and/or specifications of roofing material.
- \_\_\_ Narrative explaining the scope of work proposed.
- \_\_\_ Additional drawing(s) or sections of details for trim and finish work.

### Signage

- \_\_\_ Accurate, scaled color rendering of proposed sign, or photograph if already existing.
- \_\_\_ Material specifications; accurate and sufficient samples of each proposed color.
- \_\_\_ Photograph or accurate scale drawing of building elevation showing proposed location(s) of wall signage, window signs, European shingle signs, and other attached signage.
- \_\_\_ Photograph or accurate scale drawing of site plan showing proposed location of freestanding sign.
- \_\_\_ Type and location of all lighting fixtures.

### Outdoor Fixtures

- \_\_\_ Accurate, detailed scale drawing of fences, screening, benches, seating, tables, architectural ornamentation, or other outdoor fixtures.
- \_\_\_ Manufacturer's cut sheets for all fixture(s); photos, if available; specify colors.

### Lighting

- \_\_\_ Show numbers and locations of proposed lights on a site plan.
- \_\_\_ Provide manufacturer's cut sheets for all fixture(s) and/or pole(s); photos, if available; specify colors.
- \_\_\_ Specify types of bulbs and size/intensity for each type of fixture.
- \_\_\_ Accurate, scale drawings or photographs of building elevations for wall mounted lights.

### Awnings & Canopies

- \_\_\_ Photo or brochure showing proposed design.
- \_\_\_ Color sample or swatch of proposed material.
- \_\_\_ Photograph or accurate scale drawing of building showing where awning is to be installed.



# Precedent Images\*

## HISTORIC



\* For more inspirational photos, visit City of Pella's Pinterest Board: <https://pin.it/jY4HRTt>



\* For more inspirational photos, visit City of Pella's Pinterest Board: <https://pin.it/jY4HRTt>



# Precedent Images\*

## TRANSITIONAL



\* For more inspirational photos, visit City of Pella's Pinterest Board: <https://pin.it/jY4HRTt>



# Precedent Images\*

## CONTEMPORARY



\* For more inspirational photos, visit City of Pella's Pinterest Board: <https://pin.it/jY4HRTt>



# Glossary

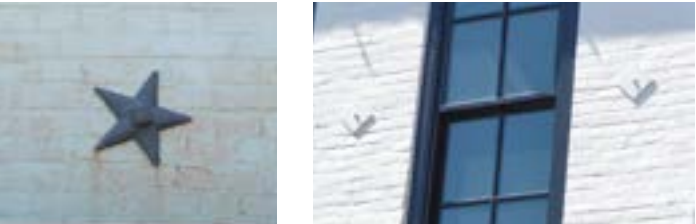
**Arch** – A curved architectural element spanning and opening transmitting vertical forces (loads) to the columns on either side of the opening.

**Bay Window** – A large series of windows that project from the exterior facade of a building, forming a geometric shape.

**Bow Window** – A large series of windows that project from the exterior facade of a building forming a curved shape.

**Brick Bonds** – The patterns in which bricks are laid into an exterior wall or façade. It can also refer to the pattern in which brick pavers are laid into a horizontal surface, such as a patio or pathway. The most common brick bonding patterns are Running Bond, Common (American) Bond, English Bond, Flemish Bond and Stack Bond. Other brick bonding patterns include, but are not limited to, Stretcher Bond, English Cross (Dutch) Bond, Garden Wall Bond, Coursed Ashlar, Herringbone, and Basketweave.

**Building Tie** – A square, rectangular or diamond-shaped steel plate through which the exposed end of a tie rod (or horizontal building support rod) protrudes. Building ties can also be vertical or other shapes.



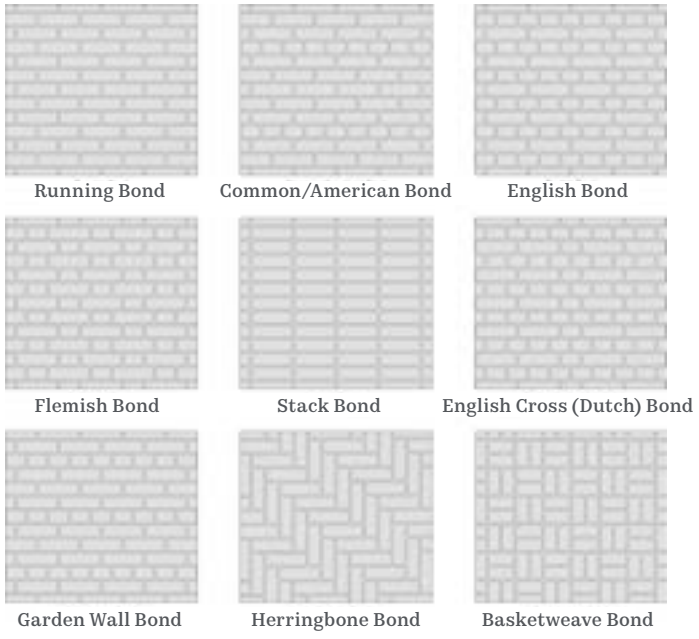
**Cladding** – A general term for a material permanently applied to the exterior of a building.

**Column** – A rigid, upright support or pillar used to carry vertical structural forces (load).

**Composite** – Synthetic cladding materials resembling natural materials, such as wood, stone, stucco, concrete, terracotta, etc. Composite materials are contemporary, low-to-no maintenance alternatives to natural materials, better suited to exterior applications subject to permanent exposure to the elements.

**Contemporary** – Pertaining to, or characteristic of, present time (architecture); modern (architecture).

**Corbel** – An architectural bracket (decorative), part of a cornice. (See also Cornice)



Glossary

**Cornice** – A prominent, continuous, horizontal, ornamental projection (molding) at the top of a wall or as a horizontal dividing element used in façade composition.

**Cupola** – A small structure projecting upward from a roof element. Cupolas usually feature a gabled, hipped or domed roof and can feature windows or louvers which can be internally illuminated or unlit.



**Dormer** – A vertical window in a projection from a sloping (pitched) roof. Dormers usually feature a gabled or hipped roof.



**Dutch Arch** – An arched element usually above a door, window or louver.



**Eave** – The overhanging lower edge of a roof.

**Exterior Insulation Finishing System** – A synthetic polymer-based cladding system for exterior facades, featuring integral insulation. EIFS is a contemporary alternative to traditional stucco cladding.

**EPDM Membrane** – A synthetic rubber roofing membrane for flat (low-slope) applications, composed of an Ethylene Propylene Diene Monomer.

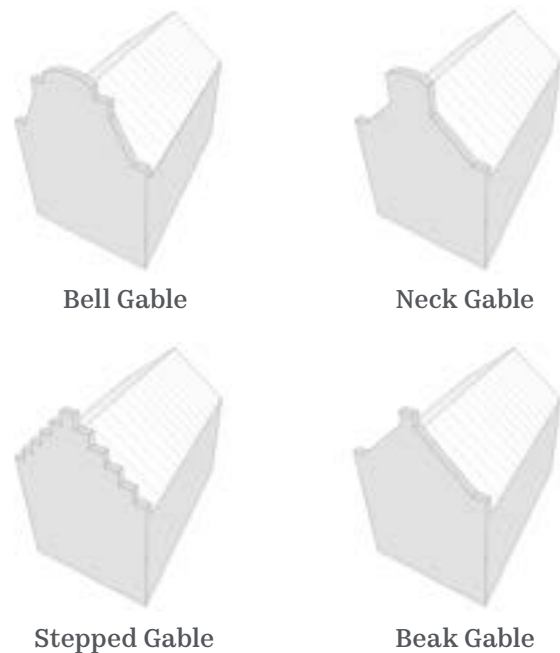
**Façade** – The front, or any side, of a building facing a public way or space, and finished accordingly.

**Fascia** – A flat, vertical board at the edge of a roof eave. A fascia can be level or pitched and can be straight or feature a decorative profile.

**Fenestration** – The design or configuration of windows and other exterior openings of a building.

**Fiber Cement** – A synthetic cement-based fiber-reinforced cladding material. In panels, it resembles concrete or stucco and in planks, it resembles wood siding.

**Gable** – The portion of exterior wall extending upward to mask the end of a pitched roof. Typical Dutch gables include the beak, bell, neck and stepped gables. Dutch gables are illustrated below (See also Roof Types):



**Hindeloopen** – A decorative painting style originating from the village of Hindeloopen in the Netherlands. In the context of this document, Hindeloopen refers to the decorative (painted) exterior wall panels adorning building facades.



**Historic** – Pertaining to, or characteristic of, history (architecture); having once existed.

**Hoistbeam** – An exterior beam attached to a façade, historically used to hoist large objects (furniture, commodities, etc.) to load them into buildings through large windows.



**Insulated Glazing Unit (IGU)** – A dual-pane glass assembly separated by a spacer and sealed at the edges. The space between the panes of glass is filled with either air or a noble gas, such as argon or krypton; thereby increasing thermal efficiency. (See also Low-E Glazing) (See also Tinted Glazing)

Glossary

**Keystone** – The wedge-shaped piece at the apex of an arch (or Dutch arch), which holds the other pieces of an arch in place.

**Keystoning** – Use of keystones on building facades.



**Lantern/Faux Lantern** – A light fixture with an Old World appearance, usually located over an entrance or some other exterior fenestration. Fixtures may be internally illuminated or unlit.



**LED (Light-Emitting Diode)** – A semi-conductor device that emits light when electric current is passed through it.

**Little Amsterdamer** – A Dutch-style traffic bollard usually painted black. In some cases different colors, such as black with white markings, or other colors may be allowed; pending prior CDC approval.





Glossary

**Low-E Glazing** – A microscopic, virtually colorless, low-emissivity (or low-emittance) coating applied to the interior (air space) surface of a pane of glass within an insulated glazing unit (IGU), to minimize solar heat gain by reflecting it away; thereby increasing thermal efficiency. (See also Insulated Glazing Unit)

**Mullion** – A horizontal member, separating the lights (panes) of a window.

**Muntin** – A vertical members, separating the lights (panes) of a window.

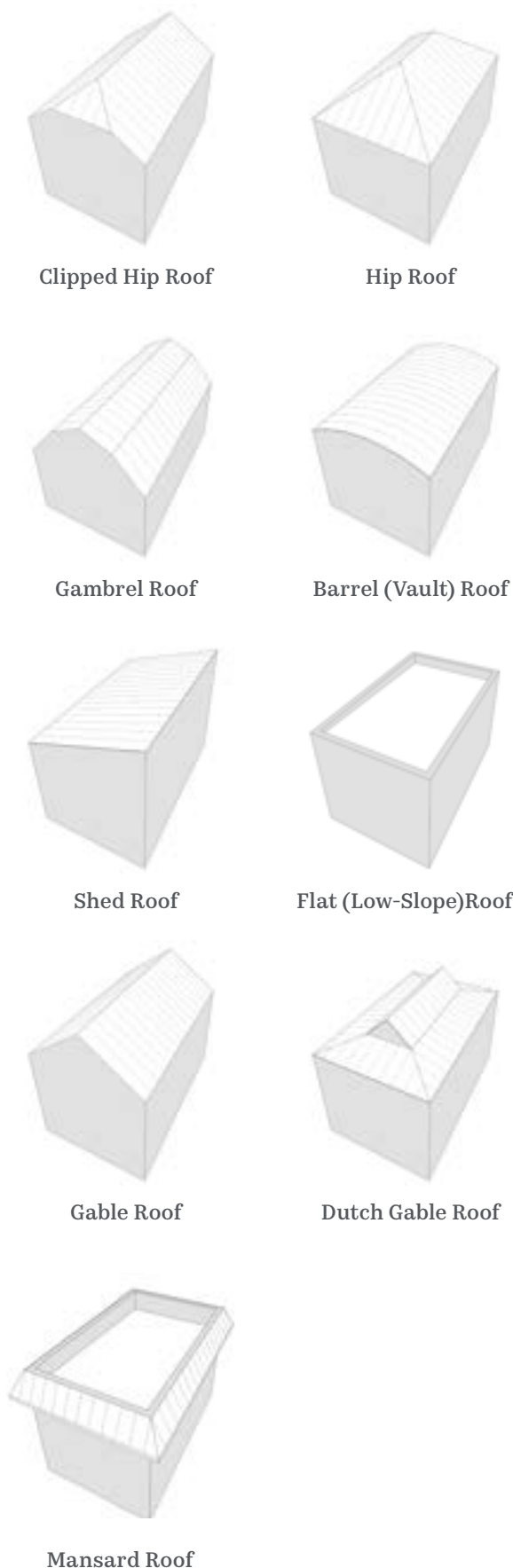
**Primary Cladding Material** – Exterior wall cladding material (as selected from the criteria matrix), comprising  $\geq 60\%$  of all publicly visible building facades. Fenestration does not constitute a secondary material.

**Quoin** – Various bricks (or stones) forming corners of walls.



**Rake** – The overhanging lateral edge of a roof gable.

**Roof Types** – Roofs shall be configured in a manner consistent with the building typology. Flat roofs or low-slope roofs are generally discouraged. Typical roof types are illustrated (See also Gables):



Glossary

**Ridgepole (Ridgebeam)** – The horizontal member (beam) at the ridge of a roof, to which the upper ends of the rafters are attached.

**Right-Of-Way** – Areas within a City necessary to provide infrastructure, such as roadways, alleyways, sidewalks, utilities, etc.

**Sash** – The frame holding the pane a window. Sashes can be fixed or operable.

**Secondary Cladding Material** – Exterior wall cladding material (as selected from the criteria matrix), comprising  $\leq 40\%$  of all publicly visible building facades. Fenestration does not constitute a secondary material. Secondary cladding material may not be the same as the selected primary cladding material.

**Shingle** – A thin piece of wood, slate, asphalt or metal, laid in overlapping rows to cover the roofs of buildings.

**Shutters/Faux Shutters** – The solid or louvered architectural elements which act as a cover for a window. Faux shutters are decorative in nature and are permanently affixed to an exterior façade.



**Signage** – A graphic sign element used for identification, promotion or wayfinding.

**Soffit** – The underside of an overhanging eave, or other architectural feature, such as a beam, arch ceiling, vault or cornice.

**Solar Heat Gain** – The amount of solar radiation (ultraviolet / infrared light) transmitted through glass.

**Stucco** – A textured, cement-based cladding material, typically wet-applied with a three-coat process.

**Terra-Cotta** – A hard, fired clay used for architectural roofing and façade ornamentation.

**Tinted Glazing** – Glazing with small amounts of metal oxides to tint (color) the glass; thereby reducing glare, solar intensity and visible light transmittance (VLT). Tinting reduces varying amounts of ultraviolet and infrared light as well as blocking a portion of the visible light spectrum. Tinting shall be gray or bronze only and shall not exceed 30% tint (70% VLT). (See also Low-E Glazing, Visible Light Transmittance)

**TPO Membrane** – A synthetic, fabric-reinforced roofing membrane for flat (low-slope) applications, composed of Thermoplastic Polyolefin.

**Traditional** – Pertaining to, or characteristic of older styles (traditional architecture).

**Transitional** – Of or relating to a transition from one position, state, stage, subject, concept, etc.

**Visible Light Transmittance (VLT)**– The amount (%) of light from the visible light spectrum that passes through glass.

**Wayfinding** – Spatial orientation and navigation within one’s environment. Typically aided by signage. (See also Signage)

**Window Boxes** – A planter box for flowers mounted to the exterior of a window sill.



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**Exhibit A:****165.16 DR – DESIGN REVIEW DISTRICT.**

The (DR) Design Review District is intended to preserve and promote "Dutch Architecture" for commercial businesses. Development in the DR District must accommodate design and architectural parameters that are consistent with the heritage of the community. These architectural themes promote Pella as an attractive and unique community.

1. Permitted Uses. Uses permitted in the DR Design Review Overlay District are those permitted in the underlying base district.

2. Applicability. A design review permit is required for the following activities:

A. Any new commercial building within the DR District, or any existing commercial building within the DR District for which architectural detail modifications are proposed, shall be reviewed for architectural compliance to Dutch Architectural themes or other historical significance.

Architectural detail modifications subject to review include any construction, maintenance, repair, alterations, modifications, painting, repainting, signs, graphics, visual displays, outdoor furniture and fixtures.

B. A design review permit is not required for any structure that is painted or repainted when the color used is the same as the color approved in the original building or design permit.

C. The replacement of outdoor furniture, fixtures and visual displays that are consistent with a prior permit shall be exempt from a design review permit.

D. Single or two-family residential uses in a commercial zoned area are exempted from design review unless they are located in a DURE Overlay District.

**Exhibit B:****165.18 GATEWAY CORRIDOR DISTRICT.**

The Gateway Corridor Overlay District is intended to provide special regulations to assure that new developments along the primary entry corridors into Pella, especially in and near the downtown, respect the existing community character and foster pedestrian-oriented design.

**1. Site Development Regulations.**

A. Landscaping shall be in accordance with the provisions of Section 165.31, Landscaping and Screening Requirements.

B. Parking areas shall be located along the side of buildings or in the rear of the building. In no case shall off-street parking be allowed in any front yard setback or in the front of buildings except for the following:

(1) Existing industrial parking areas in the front of buildings or required front yards are exempt from this requirement, including additions to existing industrial parking areas.

(2) New industrial parking areas may be located in the front of buildings or in the required front yard provided that berming and a Type A screen with evergreen trees is planted in accordance with Section 165.31.

C. Buildings shall be accessible by pedestrians from a public sidewalk installed by the developer.

D. The following special requirements apply for Gateway Corridor District areas on Washington Street from West 5th Street to East 2nd Street and on Main Street from Washington Street south to Oskaloosa Street:

(1) Setback. The maximum building setback from the public right-of-way shall be based on the average of setbacks within 200' on both sides of the property or 20', whichever is less.

**(2) Residential to Commercial Conversions.**

a. The total square footage (building footprint area) of any building converted to commercial use from a residential use shall not exceed 125% of the average of the square footage of residential buildings (existing and formerly residential) within one block on both sides of the property in question. Building additions or expansion to said structures shall only be permitted if the total square footage of the structure does not exceed the above determined average. In the event that the total square footage of an existing residential structure exceeds the average as determined above, then a conversion to commercial use may still occur provided that there is no addition or enlargement of said structure.

b. Off-street parking areas which abut residential uses or residential districts shall be screened with a Type A Screen per Section 165.31 of this chapter.

c. A building permit and a design permit are both required for any residential to commercial conversion. The applicant shall indicate any proposed modifications to the exterior of the building and the overall site, including but not limited to building additions, alterations, repainting, signage, parking, site lighting and landscaping.

**(3) New Commercial Construction.**

a. The total square footage (building footprint area) of any new commercial building shall not exceed 125% of the average of the square footage of buildings within one block on both sides of the property in question. Commercial building additions or expansions for commercial buildings constructed after the date of adoption of this Zoning Ordinance shall only be permitted if the total square footage of the structure does not exceed the above determined average.

b. Off-street parking areas which abut residential uses or residential districts shall be screened with a Type A Screen per Section 165.31 of this chapter.

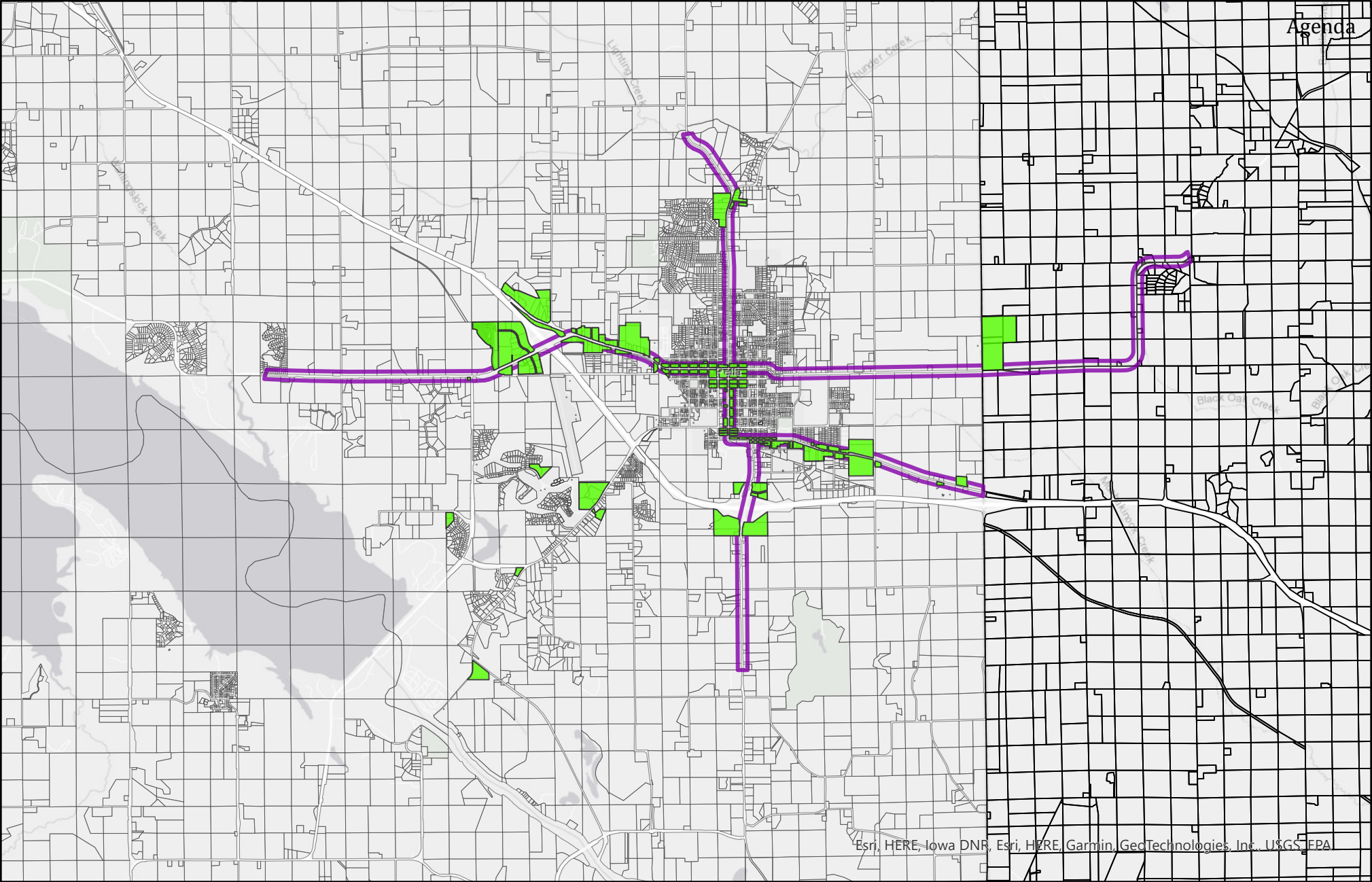
c. A building permit and a design permit are both required. The applicant shall indicate any proposed modifications to site, including but not limited to building construction, building additions, alterations, repainting, signage, parking, site lighting and landscaping.

(4) New Residential Construction. The total square footage (building footprint area) of any new residential building shall not exceed 125% of the average of the square footage of buildings within

one block on both sides of the property in question or 40% of the total lot area, whichever is greater.

2. Annexation and Gateway Corridor Overlay District Extension. An existing Gateway Corridor Overlay District shall automatically be extended to the City boundary line concurrent with any annexation.

3. Extraterritorial Zoning and Gateway Corridor Overlay District Extension. An existing Gateway Corridor Overlay District shall automatically be extended to the outer boundary of any extraterritorial zoning jurisdiction concurrent with the adoption of extraterritorial zoning.



# Design Overlay Districts

## Districts

-  Gateway Corridor
-  Design Review District
-  Mahaska County Parcel
-  Marion County Parcels

